

## APPLICATION

FOR DEVELOPMENT, INTERFERENCE WITH WETLANDS AND ALTERATIONS TO SHORELINES AND WATERCOURSES PERMIT  
(CONSERVATION AUTHORITIES ACT – ONTARIO REG. 159/06)

### Contact Information

Owners Name: \_\_\_\_\_ Applicants Name: \_\_\_\_\_  
Mailing Address: \_\_\_\_\_ Mailing Address: \_\_\_\_\_  
City, Province: \_\_\_\_\_ City, Province: \_\_\_\_\_  
Postal Code: \_\_\_\_\_ Postal Code: \_\_\_\_\_  
Home Phone: \_\_\_\_\_ Home Phone: \_\_\_\_\_  
Business Phone: \_\_\_\_\_ Business Phone: \_\_\_\_\_  
E-Mail Address: \_\_\_\_\_ E-Mail Address: \_\_\_\_\_

Is the Owner aware of this application?

Yes

No : Please explain: \_\_\_\_\_  
\_\_\_\_\_

### Location of Proposed Works

Lot: \_\_\_\_\_ Concession: \_\_\_\_\_ Township: \_\_\_\_\_ Municipality: \_\_\_\_\_

Street Address/911 No: \_\_\_\_\_ Waterbody: \_\_\_\_\_

Assessment Roll No: \_\_\_\_\_

Map and Directions Attached:  Yes  No

Existing Land Use (vacant, residential, etc.): \_\_\_\_\_

Current Zoning: \_\_\_\_\_

### Application is hereby made to: (check all that apply)

- |   |  |
|---|--|
| <input type="checkbox"/> Construct New Building               | <input type="checkbox"/> Alter an Existing Watercourse               |
| <input type="checkbox"/> Alter, Add to or Renovate a Building | <input type="checkbox"/> Construct Retaining Wall or Erosion Control |
| <input type="checkbox"/> Place or Remove Fill Material        | <input type="checkbox"/> Construct a Pond or Reservoir               |
| <input type="checkbox"/> Install Septic System                | <input type="checkbox"/> Other _____                                 |

Type and Volume of Fill: \_\_\_\_\_  
\_\_\_\_\_

Description of Proposed Works: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Start Date: \_\_\_\_\_ Completion Date: \_\_\_\_\_

**This application must be accompanied by TWO COPIES of a detailed site plan and payment of a processing fee as determined by the Conservation Authority. The site plan MUST include the following information:**

1. General location of property in relation to roads, etc. (So we can find the property)
2. Location and dimensions of all existing structures on property and a survey plan with lot dimensions
3. Location of any waterway, open water, wetland, steep slope on or near the property and any drainage features (ditches/culverts)
4. Intended location and dimensions of fill, construction, or waterway alteration proposed
5. Cross-section of proposal showing existing and final grade with elevations from the current water level of any nearby waterway, and elevations of the lowest structure opening if applicable

**NOTE:** Further information and studies may be required by the Crowe Valley Conservation Authority (CVCA) in order to process this file, the cost of which will be borne by the applicant or their agent. This information may include details related to wetlands, floodplains, hydraulics, slope stability or stream systems. Once completed, all studies become the property of the CVCA and the information may be used by the CVCA, its member municipalities and partners. In order for members of the public to view any studies, plans and reports related to your permit, a formal request under the **Municipal Freedom of Information Protection and Privacy Act**, RSO 1990, c.M.56, is required. Access is subject to statutory exemptions. The same is true should you wish to access any studies, plans and reports pertaining to other's permits. Insufficient information may delay the processing of your application. This application does not relieve the applicant of the obligation to secure any other necessary approvals. Fees are subject to change without notice.

I, *(please print name)* \_\_\_\_\_ declare that the above information is correct to the best of my knowledge and I agree to abide by Ontario Regulation 159/06.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
*NOTE: Signature or Written Authorization of Landowner is Mandatory*

I am the:  Owner  Agent  Contractor  Other: \_\_\_\_\_

The information on this form is being collected, and will be used, for the purposes of administering a Regulation made pursuant to Section 28 of the Conservation Authorities Act, R.S.O. 1990 C27.

### Landowner Authorization

If this Application of Permit is to be submitted by a solicitor/ contractor/ agent on behalf of the owner(s), this Landowner Authorization must be completed and signed by the owner(s). If the owner is a corporation acting without agent or solicitor, the application must be signed by an officer of the corporation and the corporation's seal (if any) must be affixed.

#### NOTE TO OWNER(S)

Please note that the Crowe Valley Conservation Authority staff reserve the right to discuss any or all aspects of the permitting process with the property owner.

If the Application of Permit is to be prepared by a solicitor/ contractor/ agent, authorization should not be given until the Application of Permit and its attachments have been examined and approved by you the owner(s).

I/ We \_\_\_\_\_  
*Print full name of owner*

Hereby Authorize \_\_\_\_\_  
*Print full name of Solicitor/ Contractor/ Agent*

To submit the enclosed Application of Permit to the Crowe Valley Conservation Authority and to provide any further information or material required by Authority Staff relevant to the Application of Permit for the purpose of obtaining a Permit to fill, construct or alter a watercourse in accordance with the requirements of the Ontario Regulations.

Signature of Owner(s) \_\_\_\_\_ Date \_\_\_\_\_

Signature of Solicitor/ Contractor/ Agent \_\_\_\_\_ Date \_\_\_\_\_

FOR OFFICE USE ONLY			
Payment:	<input type="checkbox"/> Cash	<input type="checkbox"/> Cheque	<input type="checkbox"/> VISA
Credit Card No:	_____		
PERMIT NO:	_____		
IS THIS APPLICATION THE RESULT OF A VIOLATION?			
	<input type="checkbox"/> No	<input type="checkbox"/> Yes	

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## GENERAL CONDITIONS

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The Applicant, by acceptance and in consideration of the issuance of this Application of Permit, agrees to the following conditions:

1. Authorized representatives of the Crowe Valley Conservation Authority (CVCA) will be granted entry at any time into the subject lands and building of the Applicant, in order to make such surveys, examinations, investigations, inspections or other arrangements which such representatives deem necessary.
2. The Owner and Applicant agrees:
  - a. to indemnify and save harmless, the CVCA and its officers, employees, or agents, from and against all damage, loss, costs, claims, demands, actions and proceedings, arising out of or resulting from any act or omissions of the Owner and Applicant or any of his/her agents, employees or contractors relating to any of the particulars, terms or conditions of this Application of Permit;
  - b. that this Application of Permit shall not release the Owner and Applicant from any legal liability or obligation and remains in force subject to all limitations, requirements and liabilities imposed by law;
  - c. that at all complaints arising from the proposed works authorized under this Application of Permit shall be reported immediately by the Owner and Applicant to the CVCA. The Owner and Applicant shall indicate any action which has taken place or is planned to be take, with regard to each complaint.
3. This Application of Permit shall not be assigned or assumed by any subsequent purchaser, transferee, grantee without permission of the CVCA.
4. This Application of Permit does not absolve the Applicant of the responsibility of obtaining necessary permission from applicable federal, provincial or local agencies.
5. Should default be made by the Owner and Applicant in compliance with, or satisfaction of, the enumerated conditions and or submitted application, the CVCA may enter upon the property with respect to which conditional approval is granted and cause said conditions to be satisfied if necessary, the expense of which will be the sole responsibility of the Owner and Applicant.
6. The work shall be carried out as per the approved plans and specifications submitted in support of the application and as amended by the approval of this permit.
7. The Owner and Applicant agree to install and maintain all sediment controls as directed by Authority staff, until all disturbed areas have been stabilized.
8. Any areas that have been disturbed by any work done shall be seeded, sodded or stabilized by the Owner and Applicant in a manner acceptable to the Authority immediately upon completion of the work authorized by this permit and in any event prior to the expiry of the permit.
9. The Owner and Applicant agree to maintain all existing drainage patterns, and not to obstruct external drainage from other adjacent private or municipal lands.
10. The permit granted under this regulation is valid for TWO years from the date of issue and it is the responsibility of the Owner and Applicant to ensure that valid permit is in effect at the time of work occurring.
11. The Owner and Applicant may appeal any or all of the stated conditions of the permit to the Board of the Conservation Authority.

The information supplied by the Owner or Applicant in this Application to Permit form is being collected and will be used for the purposes of administering the Regulation enacted pursuant to Section 20 of the **Conservation Authorities Act**, R.S.O. 1990, c27. This Application to Permit together with any supporting documentation that may be received relating to this Application to Permit may be released in whole or in part to other persons in accordance with the **Municipal Freedom of Information and Protection of Privacy Act**, R.S.O., 190, cM-56 as amended.

Under Section 28(12) of the Conservation Authorities Act R.S.O. 1990, Chapter C.27, as amended, an Applicant has the right to request a Hearing before the Executive Committee if the Applicant disputes one or more of the conditions imposed in this Permit.

I/we, hereby declare that I/we have read and understood the terms and conditions of this Application of Permit and the Permit issued pursuant to the Application, I/we hereby further declare that any information provided my myself or my agent is true and correct and I/we acknowledge that the CVCA relies on the information provided my myself and my agent in this Application of Permit and that the CVCA may revoke this Permit in the event that any information provided herein is incorrect or untrue.

Date: \_\_\_\_\_

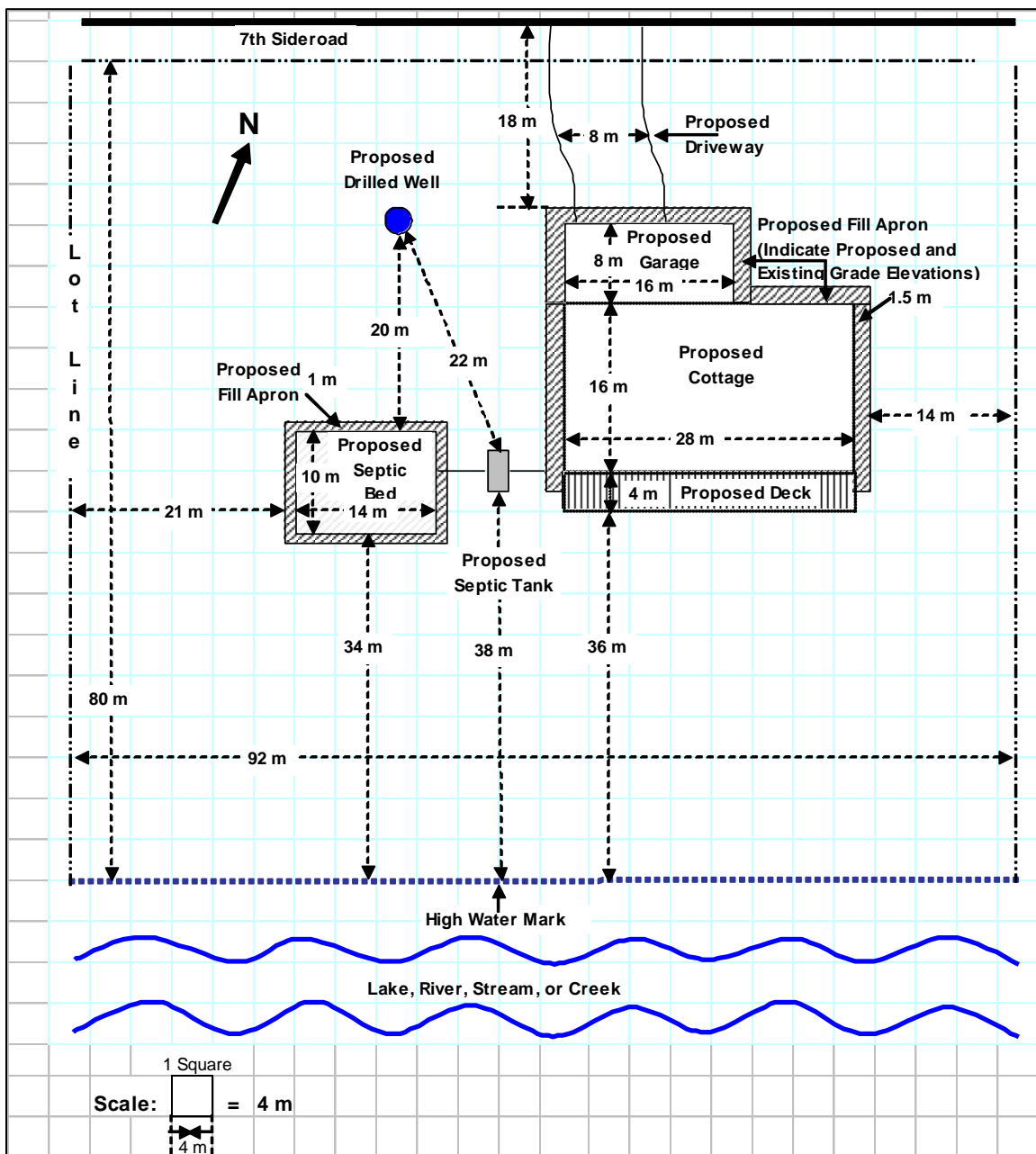
Signature: \_\_\_\_\_

### Sample Site Plan

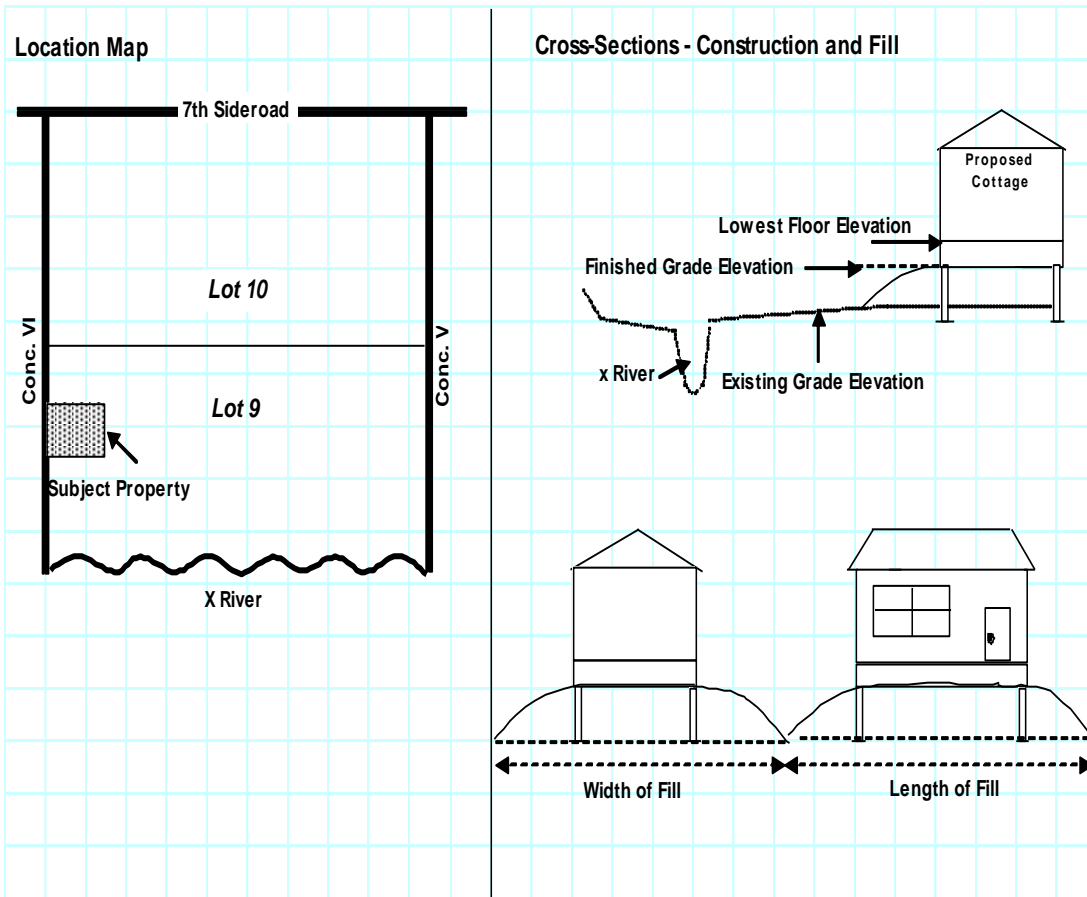
The following diagram illustrates a sample site plan which is essentially an illustrated inventory, when looking down onto your property, of existing and proposed structures and features. In order to effectively review applications for work in or around water, a detailed site plan of your property is essential.

References to structure and lot dimensions, slopes, fill apron, and setback distances including the proximity of existing and proposed structures to each other, the watercourse, and lot lines must be included in these plans.

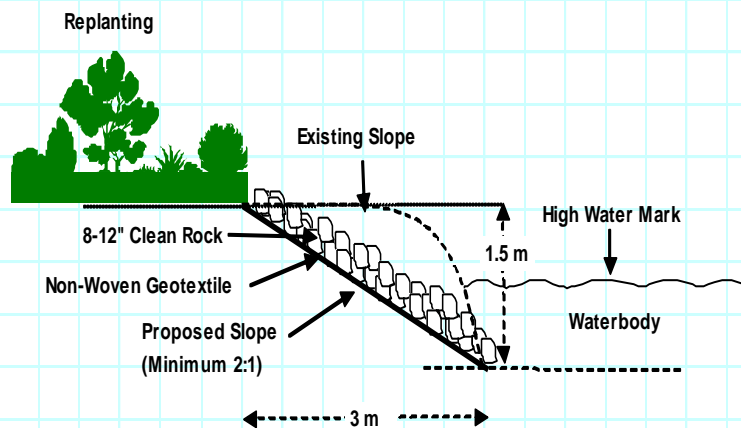
It is encouraged that these plans are drawn to scale. Graph paper is recommended so a scale can easily be assigned to the squares, such as 1 square = 4 m or whatever is needed to fit everything onto the paper.



**Sample Drawings**



**Cross-Section - Alteration to Waterway**  
Eg. Rip Rap Erosion Control at Shoreline

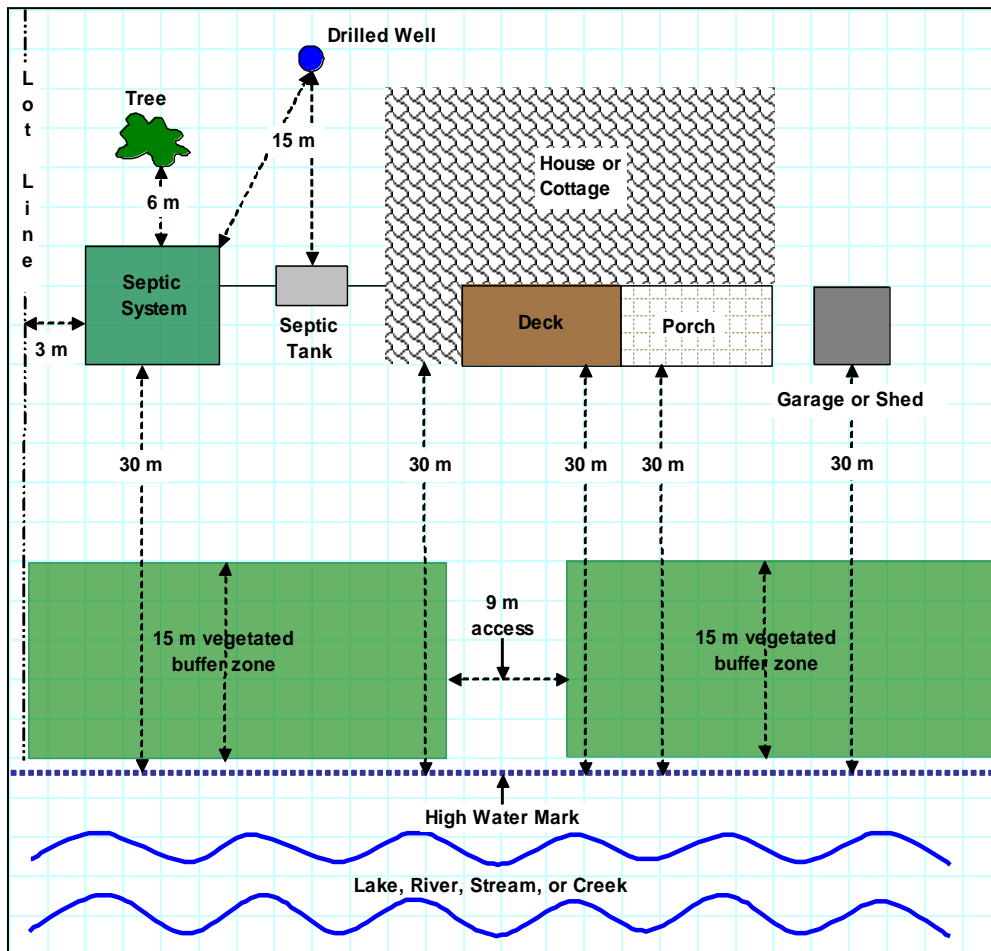


## Recommended Waterbody Setbacks

The following diagram illustrates a minimum 30 metre setback distance from a waterbody for structural development as recommended by Crowe Valley Conservation Authority (CVCA). This diagram also demonstrates a 15 metre vegetated and/or naturalized buffer zone along the shoreline, which is strongly encouraged by CVCA. Furthermore, CVCA promotes a maximum 9 metre clearing or 25% of shoreline frontage (whichever is the lesser) for water access.

These figures generally represent the current standard endorsed by environmental plan review agencies as well as those implemented by most municipalities under legislation such as the Provincial Policy Statement. However, in cases where they are not consistent with those regulated by a municipality, they are encouraged by CVCA and are used as guidelines by which CVCA reviews and comments on development applications adjacent to a waterbody.

Proponents of shoreline development should also contact their municipality concerning applicable Building Code and zoning restrictions.



## Regulation Application Fees 2014

A permit is valid for a period of two years. Permit renewals are not granted. A permit amendment represents any changes to the original permit issued. Please read all applicable fees to determine which fee applies to your application.

Application Type	Description	Fee
<b>Legal Response</b>	Letter for legal requests	\$125
<b>Technical Review Services</b>	Property inquiry, clearance letter	\$150
<b>Basic Work Application</b>	Works involving minor fill importation less than equal 30 cubic meters(2 tandem loads) Basic ditch maintenance Decks, gazebos, wells, docks, landscaping, small shoreline projects	\$150
<b>Standard Work Application</b>	Works involving fill or construction, reconstruction outside or within the flood plain i.e. additions, installation of new septic systems, replacement of old septic systems, shed  Soft erosion control measures (i.e. bio engineered solutions, rip-rap protection)  Works within adjacent lands of fill regulated wetlands In-water works equal to or less than 15 square meters (161 ft2) in size Fill activity greater than 30 cubic meters (2 tandem loads) to 275 cubic meters (20 tandem loads)  Infrastructure maintenance projects, culvert replacements Minor channel maintenance projects Excavation, including dug ponds, basements and lot grading Boat slip maintenance and new boat launches Construction additions adjacent to hazards or regulated areas	\$350
<b>Major Work Application</b>	Projects involving only one project i.e. cottage Work outside or within the flood plain involving the importation, removal of fill or building construction or new homes/cottage In-water works greater than 15 square meters (161 ft2) in size New channelization and/or alteration to a watercourse, and major channel maintenance projects New boat slips Fill activity exceeding 275 cubic meters ( 20 tandem loads) New infrastructure including but not limited to bridges, culverts, storm water management ponds and utility crossings  Work involving construction with the Department of Fisheries and Oceans (DFO) Municipal drain maintenance Excavation and/or grading of steep slopes	\$600
<b>Full Property Application</b>	Major Work Application plus 1 or more project i.e. house and septic or cottage, septic and landscaping	\$750



P. O. Box 416, 70 Hughes Lane  
Marmora, Ontario  
K0K 2M0

Phone: (613) 472-3137  
Fax: (613) 472-5516  
www.crowevalley.com

<b><i>Subdivision</i></b>	Base Review Per lot (located in Regulated Area)	\$4,000 \$100
<b><i>Non Compliance Agreement</i></b>	For works completed without a permit	double current fee
<b><i>Permit Amendment</i></b>		\$75
<b><i>Flood Line Survey / Wetland Boundary Delineation</i></b>		\$200*
<b><i>Severance Review Service</i></b>	For Planning Act Applications	\$200

\*minimum